

TOTAL SITE AREA = 94,565.6 m²
FSR= 1.2:1
PERMISSABLE AREA = 113,478 m²
QF1&2 TOTAL AREA = 113,477 m²

QF1&2 TOTAL CARPARK SPACES REQUIRED= 431
QF1&2 TOTAL CARPARK SPACES PROPOSED= 431

QF 1:

263-273 & 273A Coward St Mascot

PROPOSED GFA	55,250 m²
NUMBER OF STOREYS	3 STOREYS WAREHOUSE WITH OFFICE MEZZANINE

LEP MAXIMUM HEIGHT	44m
PROPOSED HEIGHT	44m WAREHOUSE (INCLUDING LIFT/ STAIR OVERRUNS)

Sheet List	
Sheet #	Sheet Name

A 010	Cover Sheet / Summary
A 100	Lower Ground Plan
A 110	Ground Floor Plan
A 115	Ground Floor Mezzanine Plan
A 120	First Floor Plan
A 125	First Floor Mezzanine Plan
A 130	Second Floor Plan
A 135	Second Floor Mezzanine Plan
A 140	Roof Plan
A 200	Elevation
A 300	East-West Sections
A 301	North-South Sections
A 400	Perspective View 01
A 405	Perspective View 02
A 410	Perspective View 03
A 700	Shadow Diagram_ 21 June
A 701	Shadow Diagram_ 21 March

QF1-Total Area Schedule

Name	Area
ANC. OFFICE	2322 m ²
WAREHOUSE	52928 m ²
	55250 m ²

QF1- Area Schedule

Level	Name	Area
Street Level	WAREHOUSE	20592 m ²
Street level OFFICE	ANC. OFFICE	397 m ²
Street level OFFICE	ANC. OFFICE	395 m ²
QF1- First floor	WAREHOUSE	16097 m ²
First Floor - OFFICE	ANC. OFFICE	369 m ²
First Floor - OFFICE	ANC. OFFICE	370 m ²
QF1- Second Floor	WAREHOUSE	16238 m ²
Second Floor - OFFICE	ANC. OFFICE	397 m ²
Second Floor - OFFICE	ANC. OFFICE	395 m ²
		55250 m ²

QF1- DCP PARKING REQUIREMENTS

DCP PARKING REQUIREMENTS	WAREHOUSE	OFFICE MEZZANINE
DCP REQUIREMENTS	1 PER 300 m ²	1 PER 80 m ²
PROPOSED AREAS	52,930 m ²	2,314 m ²
REQUIRED SPACES	177	29

TOTAL CAR SPACE REQUIRED FOR QF1 = 206

LANDSCAPE REQUIREMENTS

LANDSCAPE AREA REQUIRED (10% OF SITE AREA) = 9,456.56 m²
LANDSCAPE AREA PROPOSED = 10,743.8 m² (11.3%)

QF 2:

76-82 Kent Rd Mascot

PROPOSED GFA	58,227 m²
NUMBER OF STOREYS	3 STOREYS WAREHOUSE WITH OFFICE MEZZANINE

LEP MAXIMUM HEIGHT	44 m
PROPOSED HEIGHT	44 m WAREHOUSE (INCLUDING LIFT/ STAIR OVERRUNS)

QF2- Total Area Schedule

Name	Area
ANC. OFFICE	1999 m ²
CRT	1488 m ²
EoT	974 m ²
LOBBY	79 m ²
NS	100 m ²
WAREHOUSE	53587 m ²
	58227 m ²

QF2- Area Schedule

Level	Name	Area
Lower Ground	CRT	889 m ²
Lower Ground	CRT	180 m ²
Lower Ground	CRT	300 m ²
Lower Ground	CRT	119 m ²
Lower Ground	EoT	974 m ²
Lower Ground	LOBBY	36 m ²
Lower Ground	LOBBY	43 m ²
Lower Ground	NS	100 m ²
QF2-Ground Floor	ANC. OFFICE	390 m ²
QF2-Ground Floor	WAREHOUSE	17932 m ²
QF2-First Floor	WAREHOUSE	17865 m ²
QF2-First Floor- Office Mezz	ANC. OFFICE	366 m ²
QF2-First Floor- Office Mezz	ANC. OFFICE	365 m ²
QF2-Second Floor	WAREHOUSE	17789 m ²
QF2-Second Floor- Office Mezz	ANC. OFFICE	441 m ²
QF2-Second Floor- Office Mezz	ANC. OFFICE	437 m ²
		58227 m ²

QF2- DCP PARKING REQUIREMENTS

DCP PARKING REQUIREMENTS	WAREHOUSE	OFFICE MEZZANINE & OFFICE MEZZANINE & CAFE / BREWERY / TAKE AWAY / CONVENIENCE
DCP REQUIREMENTS	1 PER 300 m ²	1 PER 80 m ²
PROPOSED AREAS	53,587 m ²	3,666 m ²
REQUIRED SPACES	179	46

TOTAL CAR SPACE REQUIRED FOR QF2= 224

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NOMINATED ARCHITECTS:
David Stevenson NSW 6317

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ARCHITECT



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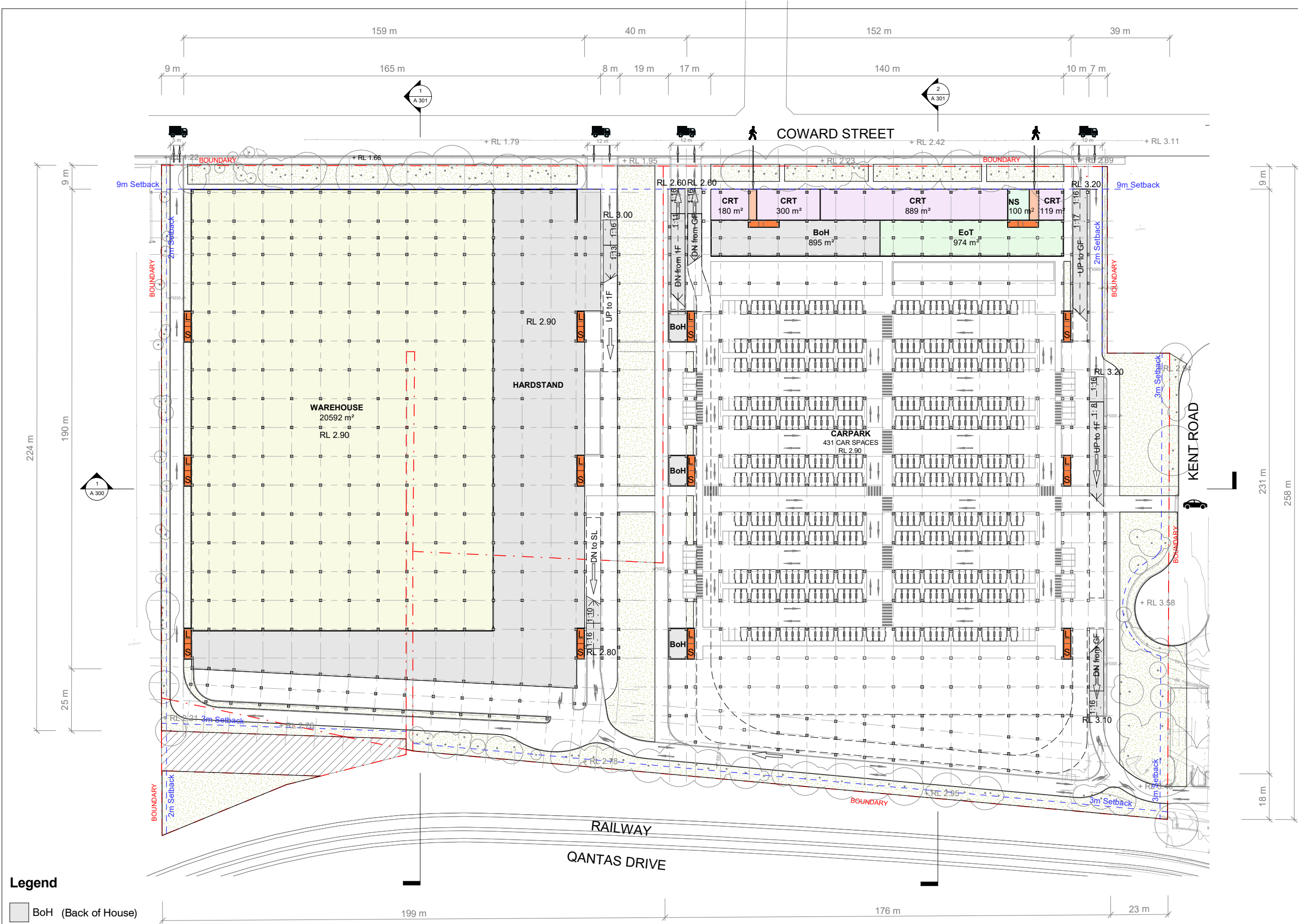
PROJECT	QF1 - QF2 Warehouse
	263-271 and 273A Coward Street and 76-82 Kent Road, Mascot

TITLE	FSR 1.2:1 Cover Sheet / Summary
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	REVIEWED BY	TL	
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PROJECT N°.	2206		
SCALE	@ A1		
REVISION DATE			

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- Legend**
- BoH (Back of House)
 - CORE
 - CRT (Cafe / Restaurant / Take Away)
 - EoT (End of Trip Facility)
 - LOBBY
 - NS (Neighbourhood Shop)
 - WAREHOUSE

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David Stevenson NSW 6317

Rev	Description	Date
A	PRELIMINARY PLANNING PROPOSAL	13/03/23
B	PRELIMINARY PLANNING PROPOSAL	21/03/23
C	PRELIMINARY PLANNING PROPOSAL	19/04/23
D	PRELIMINARY PLANNING PROPOSAL	05/05/23

- KEY**
- BOUNDARY
SETBACKS
OWNED BY OTHERS
- L= LIFTS
S= STAIRS
SL= STREET LEVEL

LANDSCAPE ARCHITECT


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PROJECT

QF1 - QF2 Warehouse


263-271 and 273A Coward Street and 76-82 Kent Road, Mascot

TITLE

FSR 1.2:1
Lower Ground Plan

DRAWING N°.

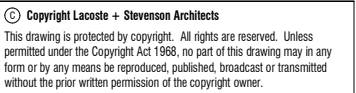
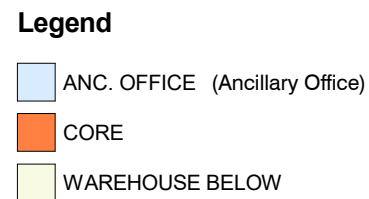
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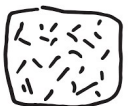
NOMINATED ARCHITECTS:
David Stevenson NSW 6317

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KEY

BOUNDARY
SETBACKS
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L= LIFTS
S= STAIRS
SL= STREET LEVEL

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PROJECT	
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QF1 - QF2 Warehouse

263-271 and 273A Coward Street and 76-82
Kent Road, Mascot

TITLE	
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FSR 1.2:1

Ground Floor

Mezzanine Plan

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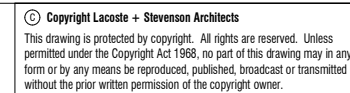
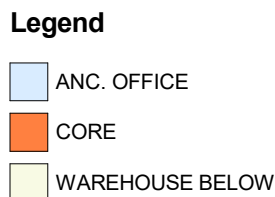
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David Stevenson NSW 631

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PROJECT	
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QF1 - QF2 Warehouse

263-271 and 273A Coward Street and 76-82 Kent Road, Mascot

TITLE

FSR 1.2:1

Second Floor Mezzanine Plan

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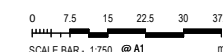
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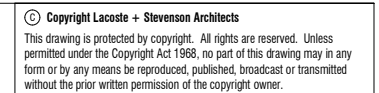
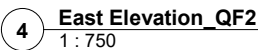
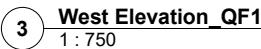
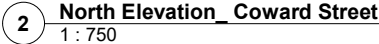
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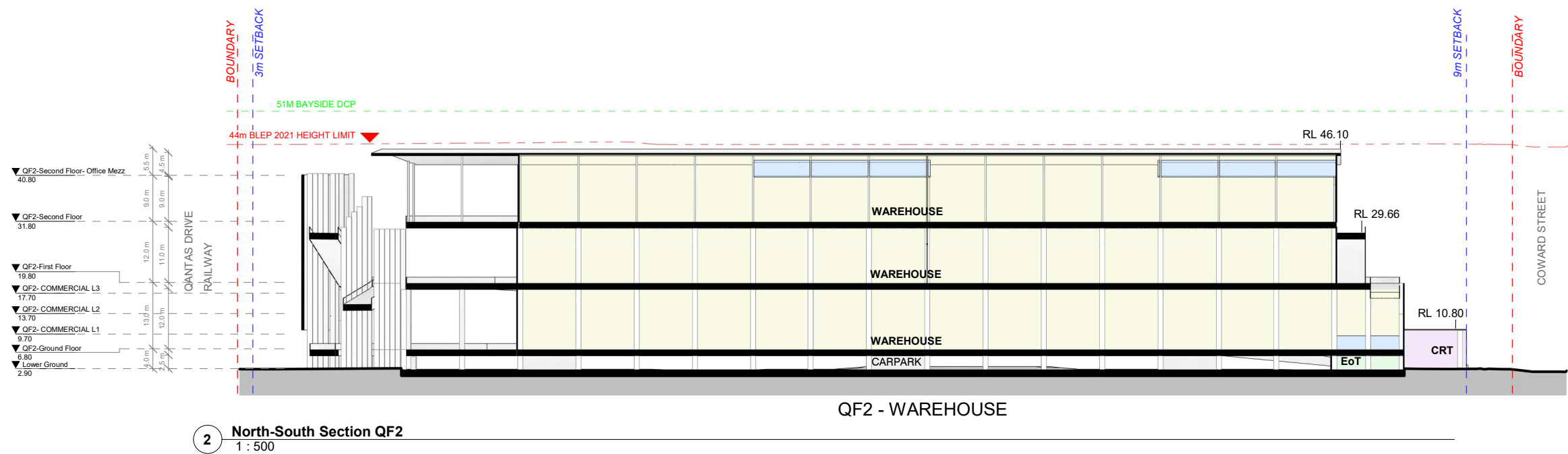
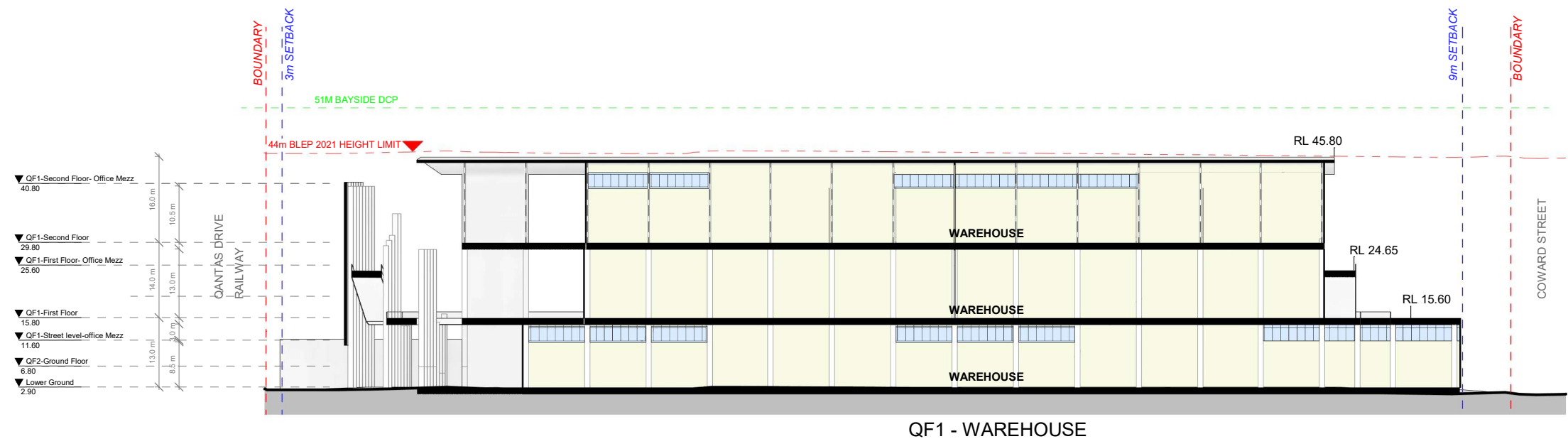
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ARCHITECT		Lacoste + Stevenson urban design - architecture - interiors	
CLIENT		LOGOS	
PROJECT		QF1 - QF2 Warehouse 263-271 and 273A Coward Street and 76-82 Kent Road, Mascot	
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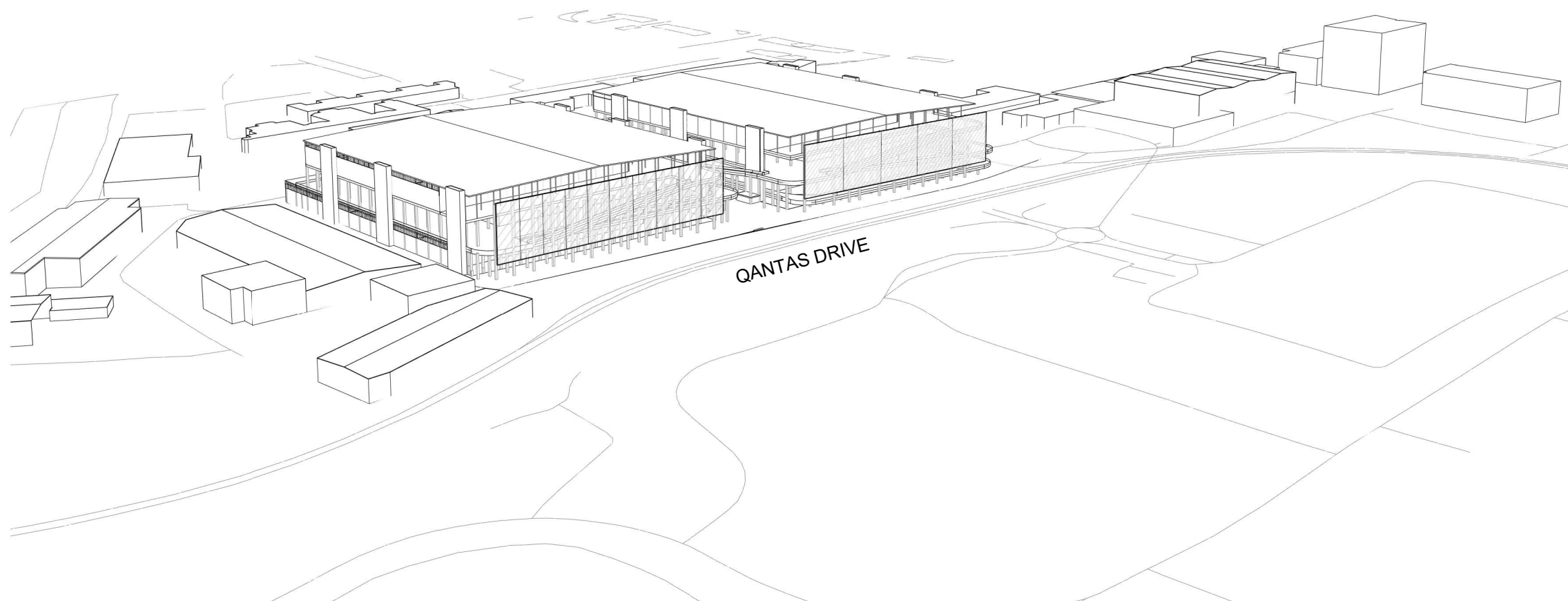
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ARCHITECT

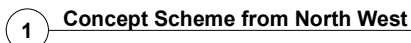
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PROJECT	<p>QF1 - QF2 Warehouse</p> <p>263-271 and 273A Coward Street and 76-82 Kent Road, Mascot</p>
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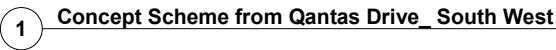
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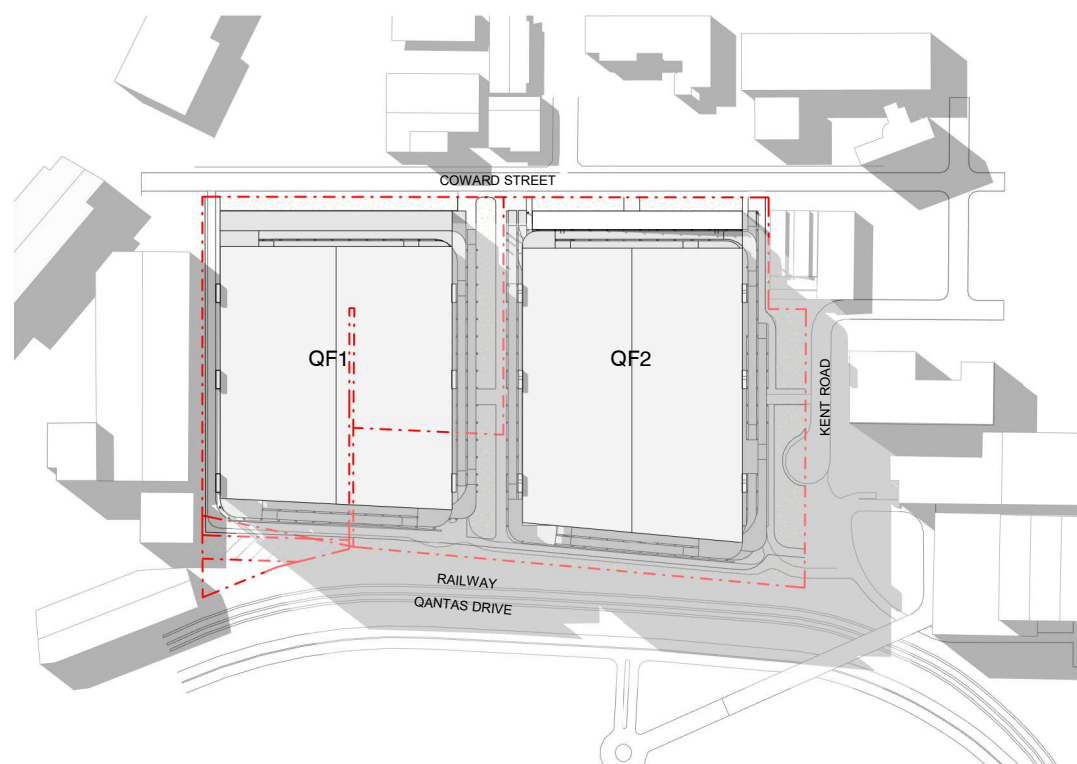
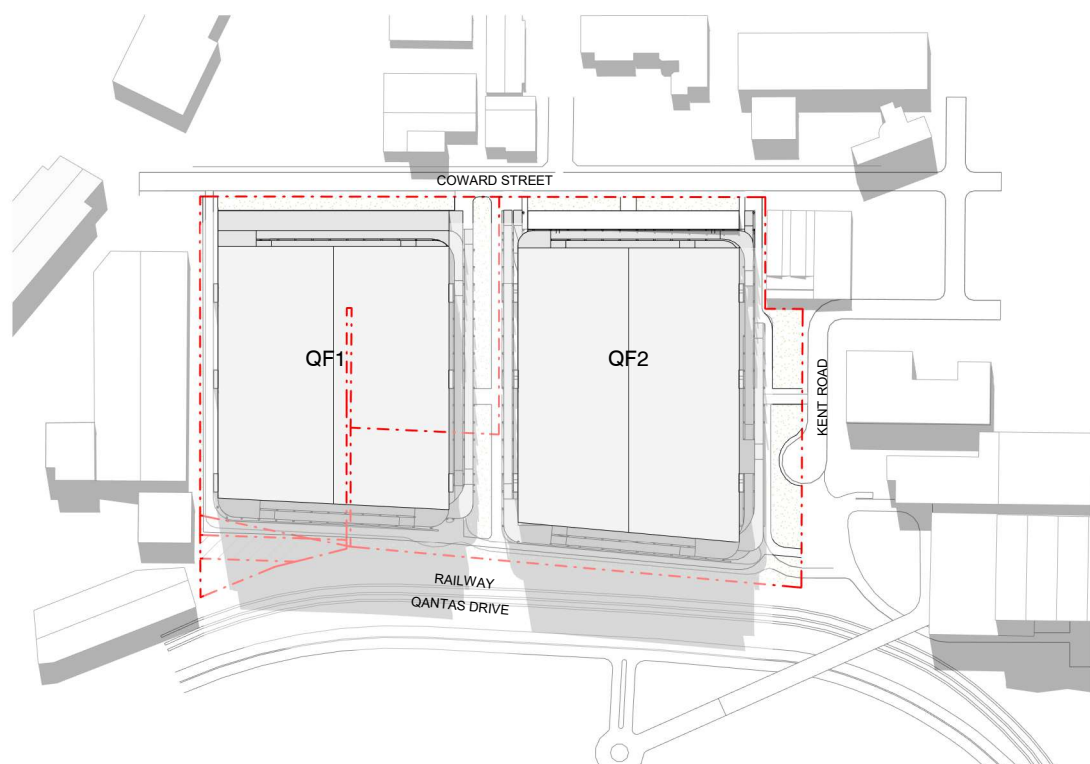
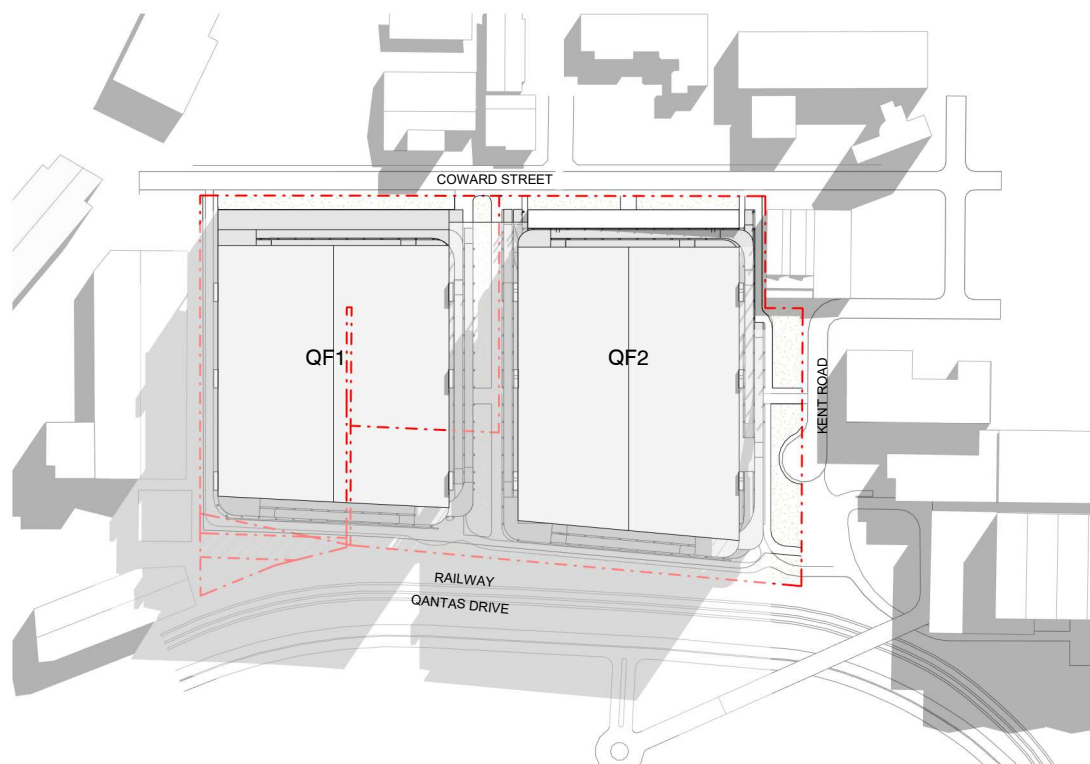
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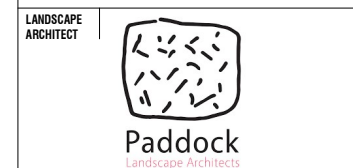
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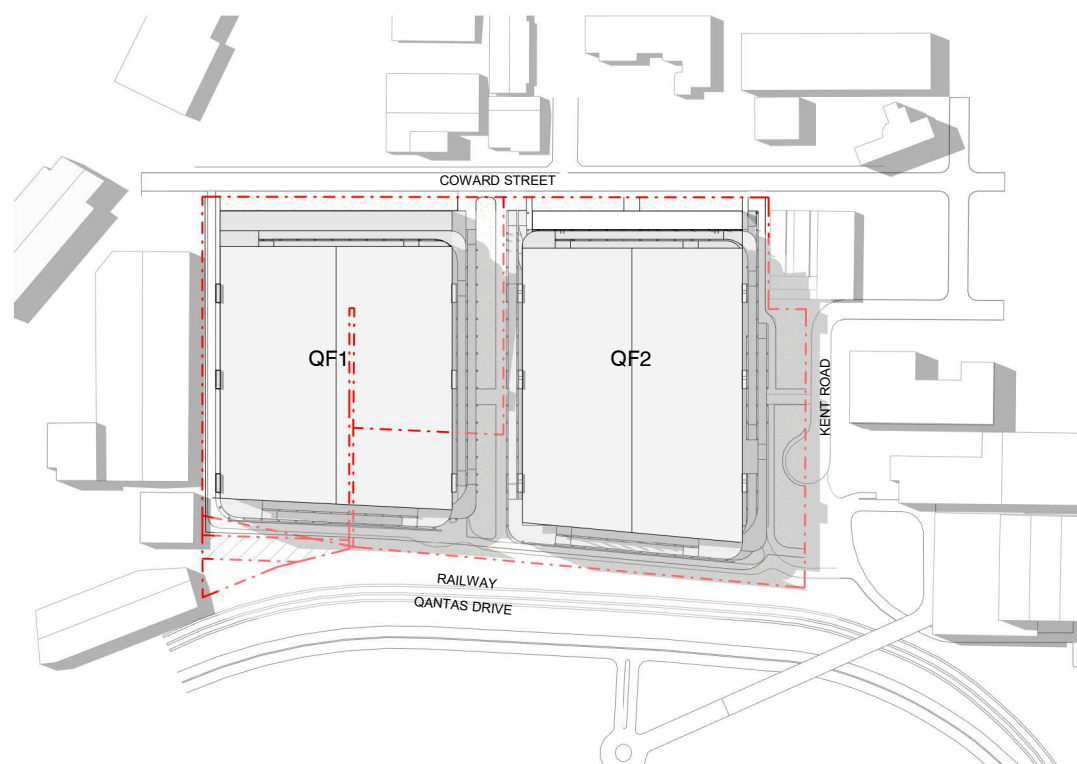
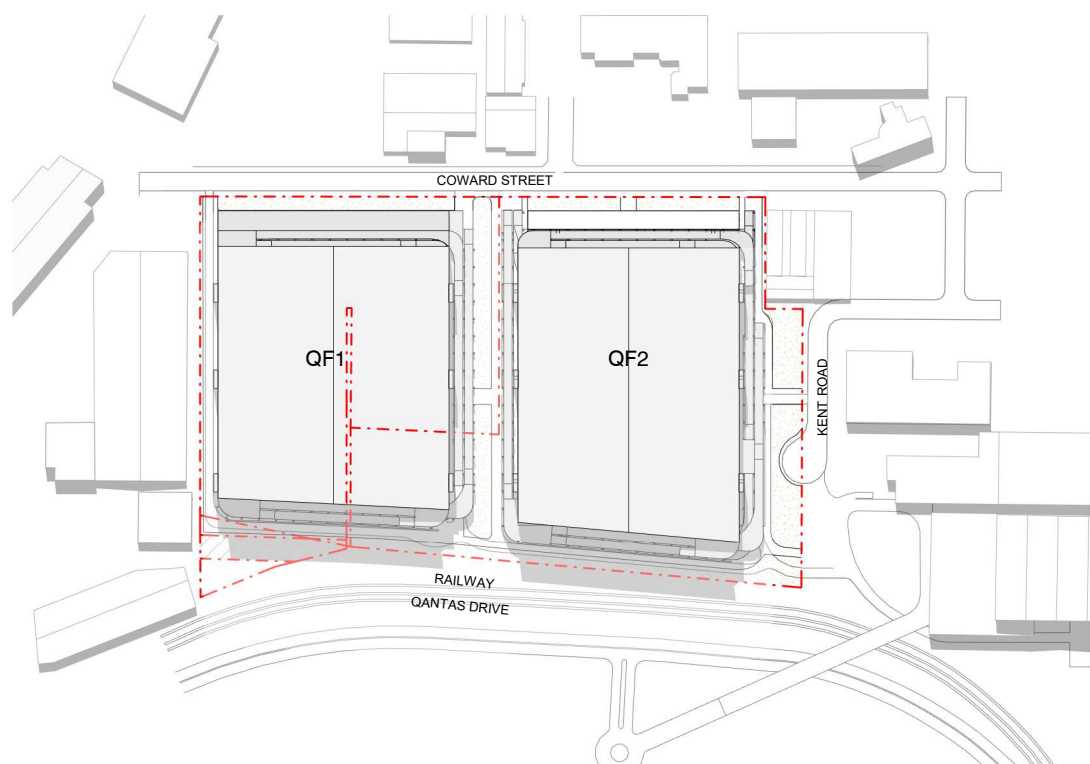
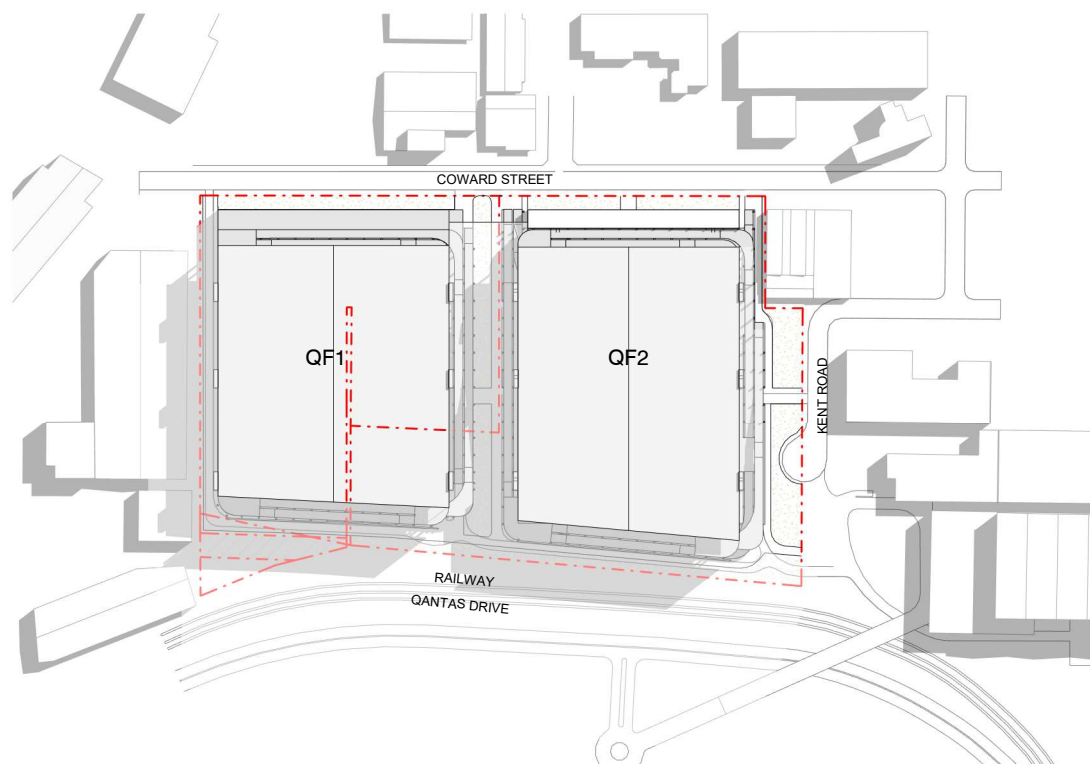
PROJECT	QF1 - QF2 Warehouse
	263-271 and 273A Coward Street and 76-8 Kent Road, Mascot

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NOMINATED ARCHITECTS:
David Stevenson NSW 6317

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ARCHITECT

Paddock
Landscape Architects

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LOGOS

PROJECT

QF1 - QF2 Warehouse

263-271 and 273A Coward Street and 76-82 Kent Road, Mascot

TITLE

FSR 1.2:1

Shadow Diagram_

21 March

DRAWING
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C-A 701



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DESIGNED BY	Author
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REVIEWED BY	Onekret
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2206

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